Town of Drayton Valley

2006

Census Report

July 27, 2006

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INTRODUCTION / OVERVIEW

This report represents the results of The Town of Drayton Valley 2006 Municipal Census that was conducted on May 16, 2006. In part, the census was undertaken this year in hopes of capturing the recent population growth evident from new development projects. Unlike its Federal counterparts, participation in the municipal census by Drayton Valley residents was voluntary.

The significance of an accurate census count should not be underestimated, as the figures collected during a municipal census, in part, serve as the foundation for planning new community services and enhancing existing ones. The information gathered in a census can help determine the need for newer schools, libraries, health and childcare centres as well as infrastructure requirements.

Outside of the municipal planning discipline, census data is important to businesses that operate throughout the municipality and surrounding county. The information contained within this report can assist new and existing businesses in deciding where and what services to provide; thus creating new jobs, enhancing existing ones while enhancing the quality of life within the Town of Drayton Valley.

Questions asked in the 2006 Census include the following areas:

- Population numbers and distribution within the Town of Drayton Valley
- Aspects of Dwellings within the Town of Drayton Valley (e.g. type, occupancy status, ownership and location)
- Age (in five-year groupings) & Gender of residents
- Employment (e.g. industry and employment type)
- School choice of childern

In addition, the residents of Drayton Valley were asked the following three questions with Question 4 only being asked if the occupant had indicated his/her place of residence was rented (refer to Appendix A for sample census form).

1. What would you like the town to focus on in the future?
2. What do you think are the biggest challenges facing Drayton Valley today?
3. Does your home have internet access?
4. How much do you normally spend on rent payments per month?

The data presented within this report illustrates totals for Drayton Valley, as well as the geographical breakdowns by enumeration area (refer to Appendix B for map of the enumeration areas.

CENSUS RESULTS

I. Population Breakdowns

The previous population of Drayton Valley registered after the 2003 Municipal Census along with the new population of Drayton Valley following the this year's census program is illustrated in Figure 1.

Municipal Census Population Distribution
(2003 & 2006 Comparisons)
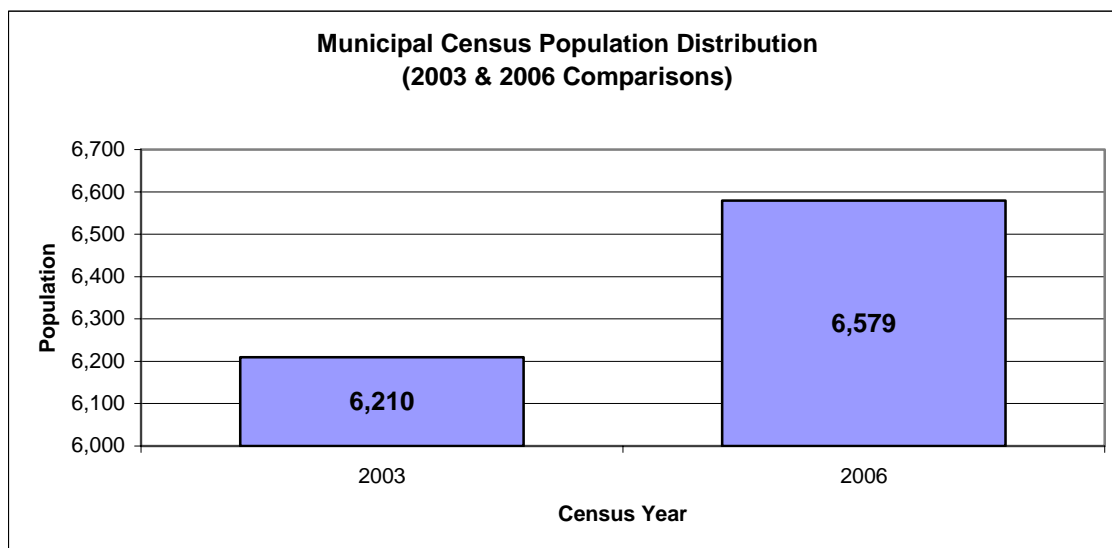
Figure 1: Population of Drayton Valley (2003 & 2006 Comparison)

The population distribution along with the number of recorded dwellings within each enumeration area is illustrated below (refer to Appendix B for map of the enumeration areas).

Population Distribution (by Enumeration Area)
(2006)
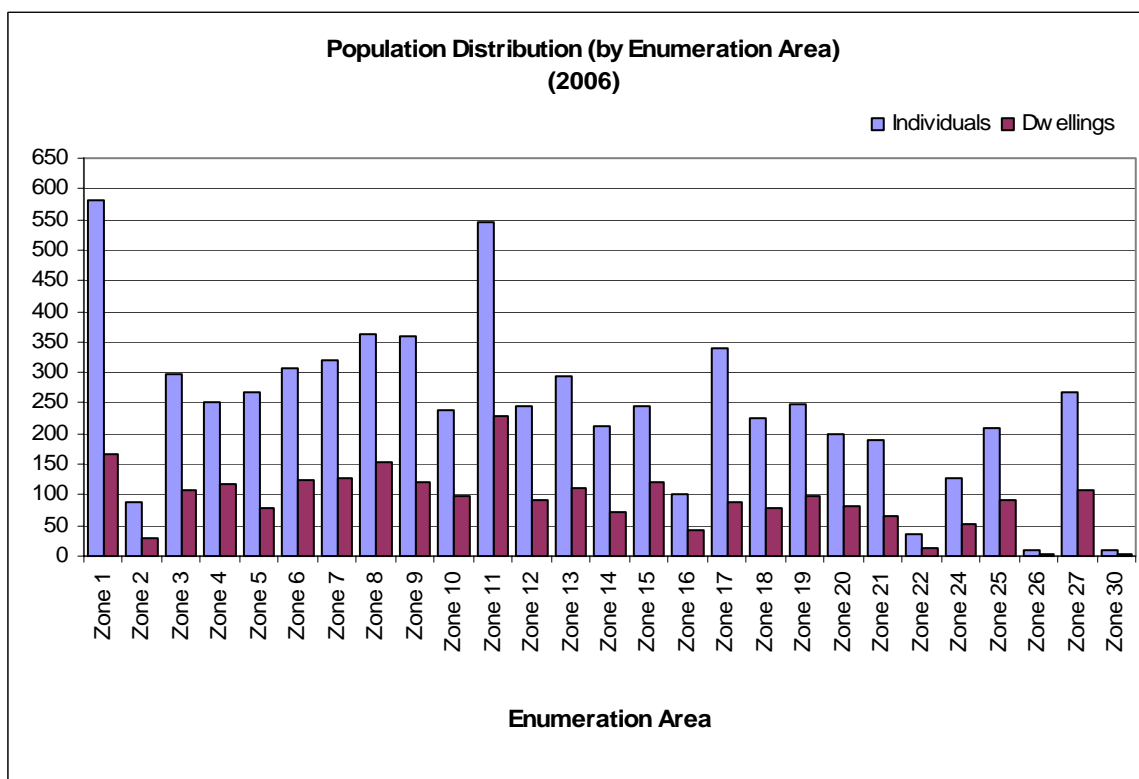
Figure 2: Population Distribution (by Enumeration Area) for 2006

<u>POPULATION HIGHLIGHTS</u>:

- In 2003, the population of Drayton Valley was 6,210 individuals; in 2006, the population increased to **6,579** individuals.

- Since 2003, there has been a **5.6%** increase in population, or **369** new individuals living within Drayton Valley

- Since the Federal Census of 2001, Drayton Valley has had an **11.5%** increase in population.

II. Age & Gender

The following graph (Figure 3) illustrates the age class breakdowns for both the 2003 and 2006 Municipal Census programs. In both years, a number of individuals did not supply their age information, and as such, have been listed under *"undisclosed."*
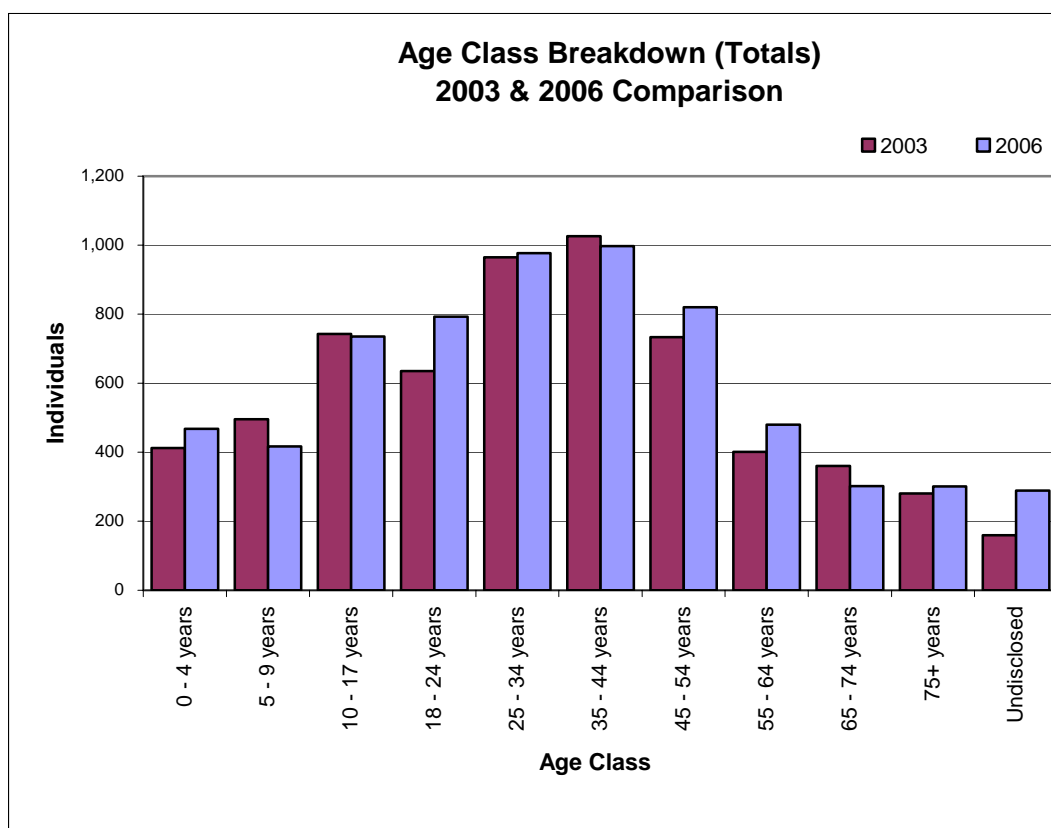
Figure 3: Age Class Breakdown (2003 & 2006 Comparison)

Figure 4 illustrates a gender comparison between both the 2003 and 2006 Municipal Census programs.

Population Breakdown (by Gender)
2003 & 2006 Comparison
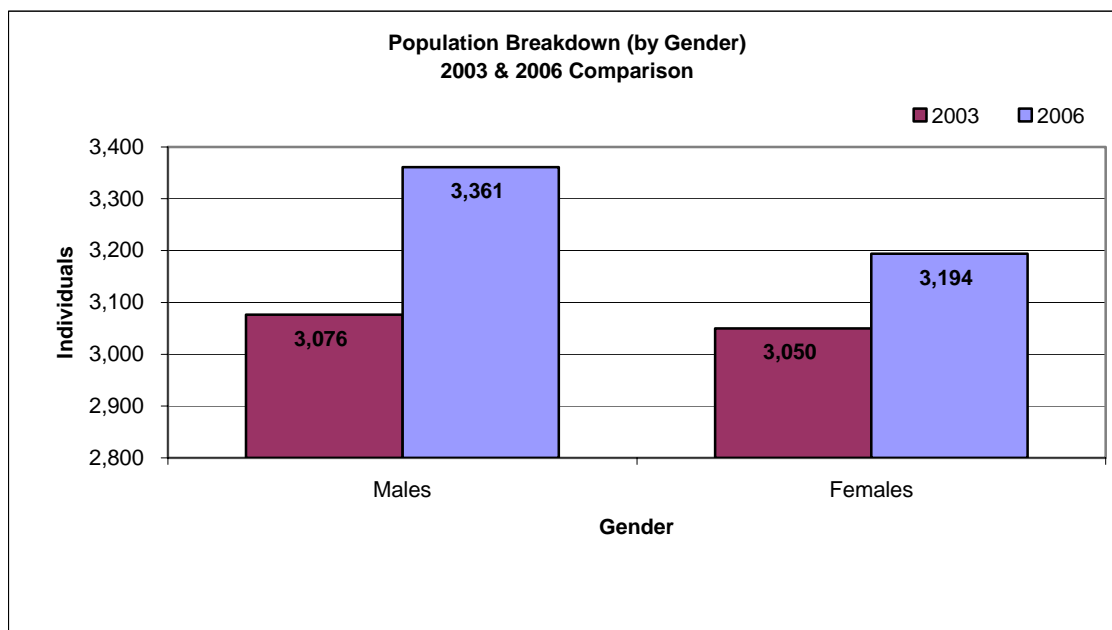
■ 2003   ■ 2006

Figure 4: Population Breakdown (by Gender) 2003 & 2006 Comparison (see highlights)

The population distribution between for the 2006 is illustrated in Figure 5, where the largest number of males are between the ages of 25 and 34, and the largest number of females are between 35 and 44 years of age.

Population Distribution
(by Age Class)
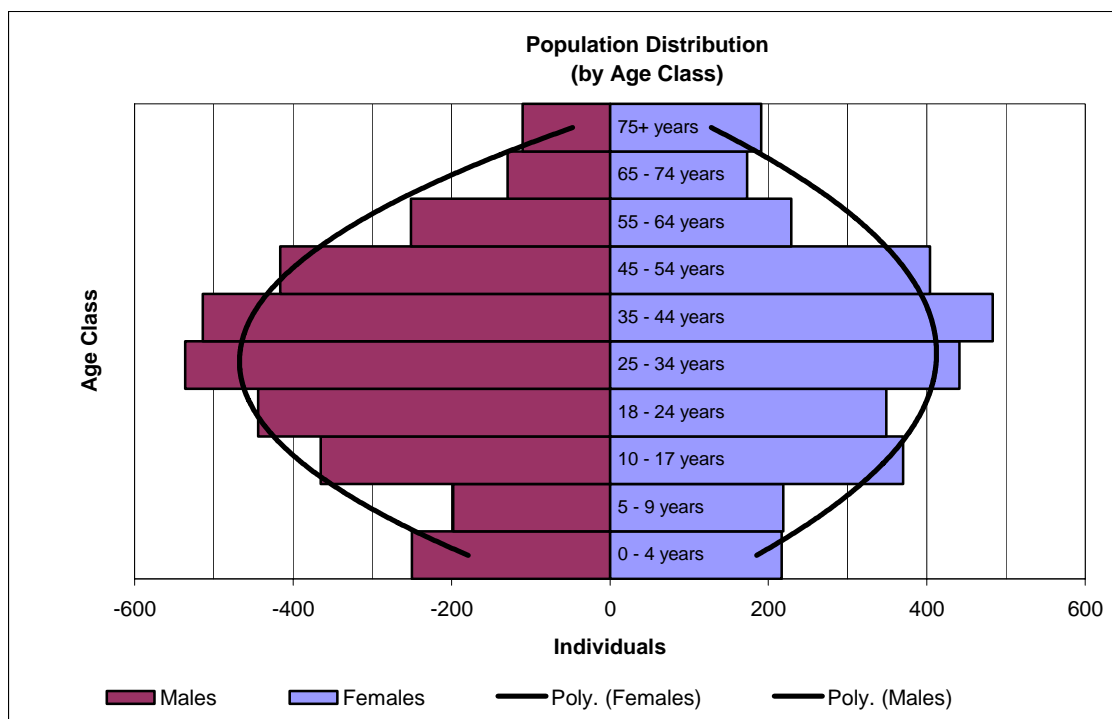
Figure 5: Population Distribution (by Age Class)

Figure 6 and Figure 7, show the age breakdown comparison of males and females during the 2003 and 2006 Municipal Census Program.

**Age Breakdown (Males)
2003 & 2006 Comparison**

□ 2003   ■ 2006

Age Class	2003	2006
0 - 4 years	233	250
5 - 9 years	237	198
10 - 17 years	368	365
18 - 24 years	337	444
25 - 34 years	491	536
35 - 44 years	529	514
45 - 54 years	383	416
55 - 64 years	215	251
65 - 74 years	145	129
75+ years	112	110
Undisclosed Age		148
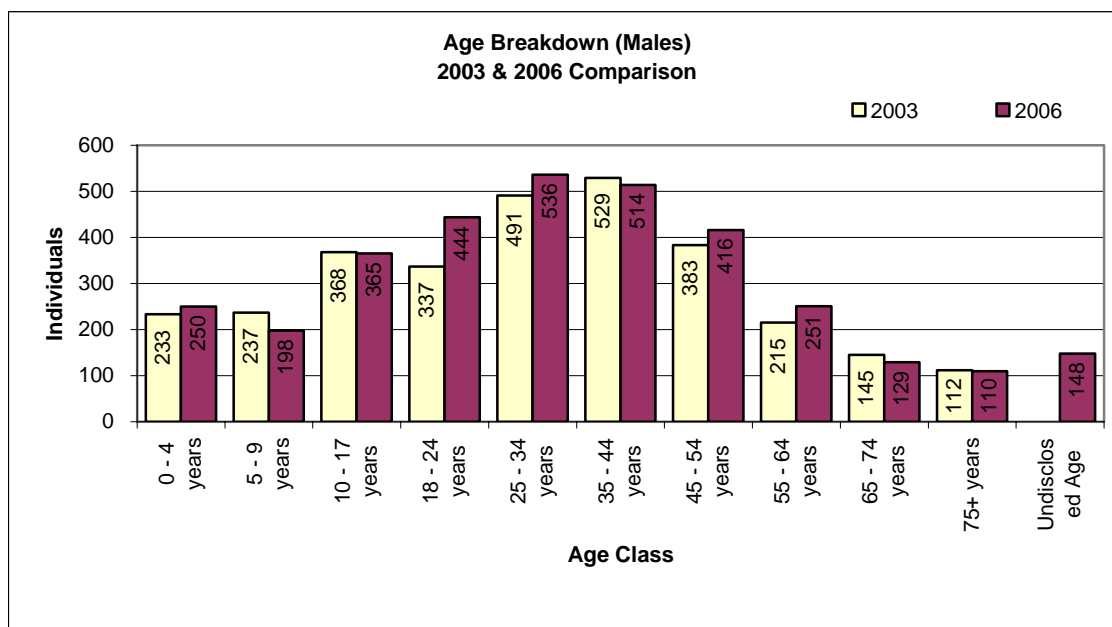
Figure 6: Age Breakdown (for Males) 2003 & 2006 Comparison

**Age Breakdown (Females)
2003 & 2006 Comparison**

□ 2003   ■ 2006

Age Class	2003	2006
0 - 4 years	179	217
5 - 9 years	258	219
10 - 17 years	375	370
18 - 24 years	298	349
25 - 34 years	474	441
35 - 44 years	497	483
45 - 54 years	350	404
55 - 64 years	186	229
65 - 74 years	215	173
75+ years	169	191
Undisclosed Age		118

Figure 7: Age Breakdown (for Females) 2003 & 2006 Comparison

<u>AGE & GENDER HIGHLIGHTS:</u>

- The largest combined age class increase from 2003 occurred within 18 to 24 year olds. **158 (20% increase)** more individuals were enumerated in 2006 than in 2003. Similarly, the age class 0 to 4 and 55 to 64 year olds increased **12%** and **16%**, respectively, over those figures record in 2003 (Figure 3).

- The largest combined age class decline from 2003 occurred within the 65 to 74 year olds. **58 (19%)** fewer individuals were enumerated in 2006 than 2003 (Figure 3).
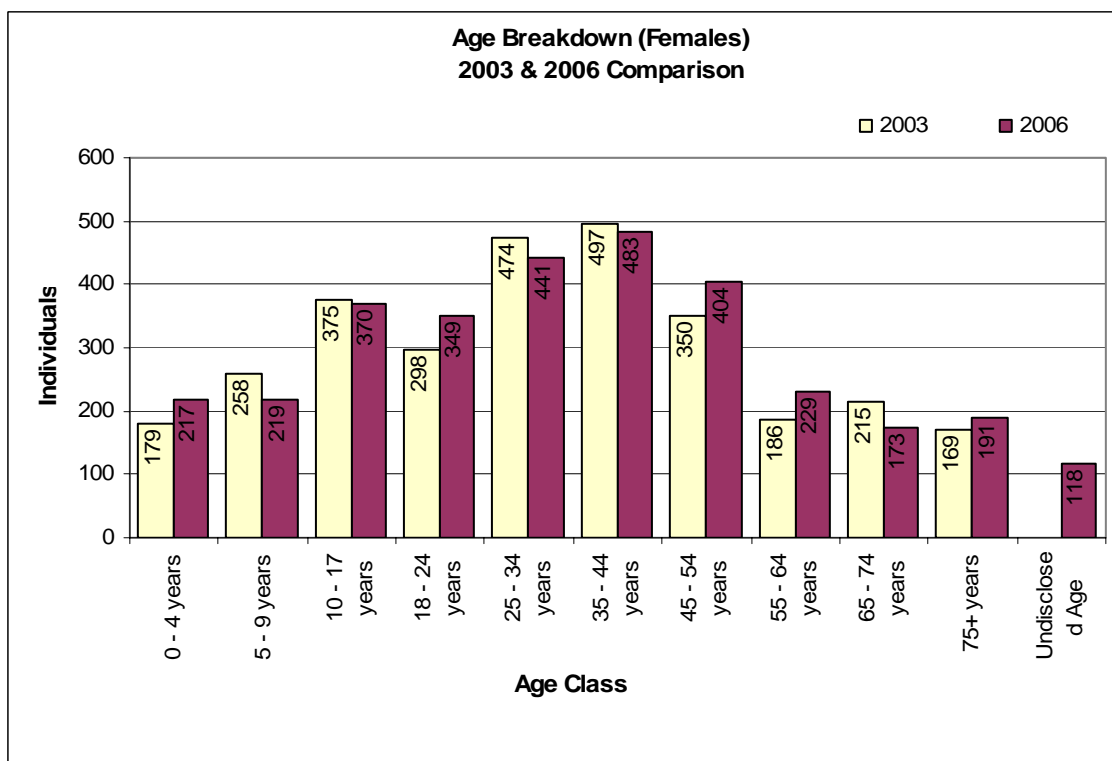
- There were **285 (8.5%)** more males recorded and **144 (4.5%)** more females recorded in the 2006 than 2003 (Figure 4). In 2006, **159** individuals did not record their age and gender, **24** individuals did not specify gender, while in 2003, **84** individuals did not specify age or gender.

- The population distribution remains relatively stable and centred around the 25 to 44 year olds (Figure 5).

- The largest decline of males from 2003 occurred within the 5 to 9 year olds. **39 (-20%)** fewer individuals were enumerated in 2006 than in 2003; however, the largest increase of males from 2003 occurred within the 18 – 24 year olds. **107 (24%)** more individuals were enumerated in 2006 than in 2003 (Figure 6).

- The largest decline of females from 2003 occurred within the 65 to 74 year olds. **42 (-24%)** fewer individuals were enumerated in 2006 than in 2003; however, the largest increase of females from 2003 occurred within the 55 – 64 year olds. **43 (19%)** more individuals were enumerated in 2006 than in 2003 (Figure 7).

III. Household Sizes

The number of individuals per household are illustrated in Figure 8.
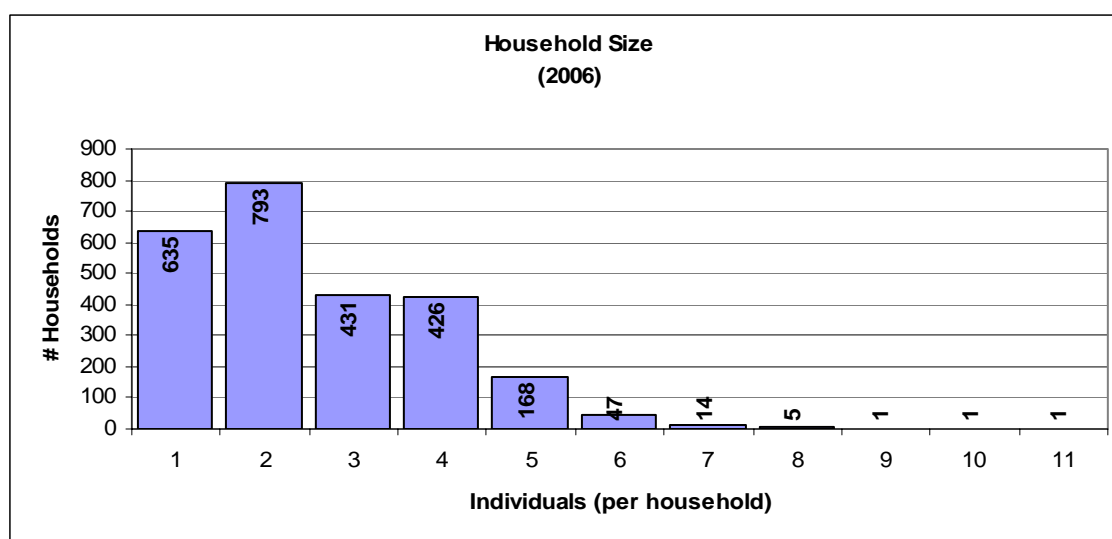
Figure 8: Household Sizes (2006)

<u>HOUSEHOLD HIGHLIGHTS:</u>

- The largest number of households in Drayton Valley have **2 occupants**.

- The largest population is derived from those households with **4 occupants**.

- On average **2.6 individuals** are living in each household within Drayton Valley.

IV. Dwelling Types & Ownership

Figure 9 shows the types of dwellings during the 2006 Municipal Census Program.

**Dwelling Types
(2006)**

Collective Dwellings, 0.3%

Other Movable Dwellings, 0.9%

Mobile Home, 12.8%

Appartment, 9.9%

Row (Town House), 1.7%

Quadruplex/Triplex, 1.2%

Duplex Unit, 5.4%

Suite in Single Detached, 0.6%

Single Detached, 67.1%

Figure 9: Dwelling Types (2006)

Figure 10 shows the dwelling ownership during the 2006 Municipal Census Program.

**Dwelling Ownership
(2006)**

Under Construction, 2%

Vacant, 3%

Rented, 22%

Owned, 73%
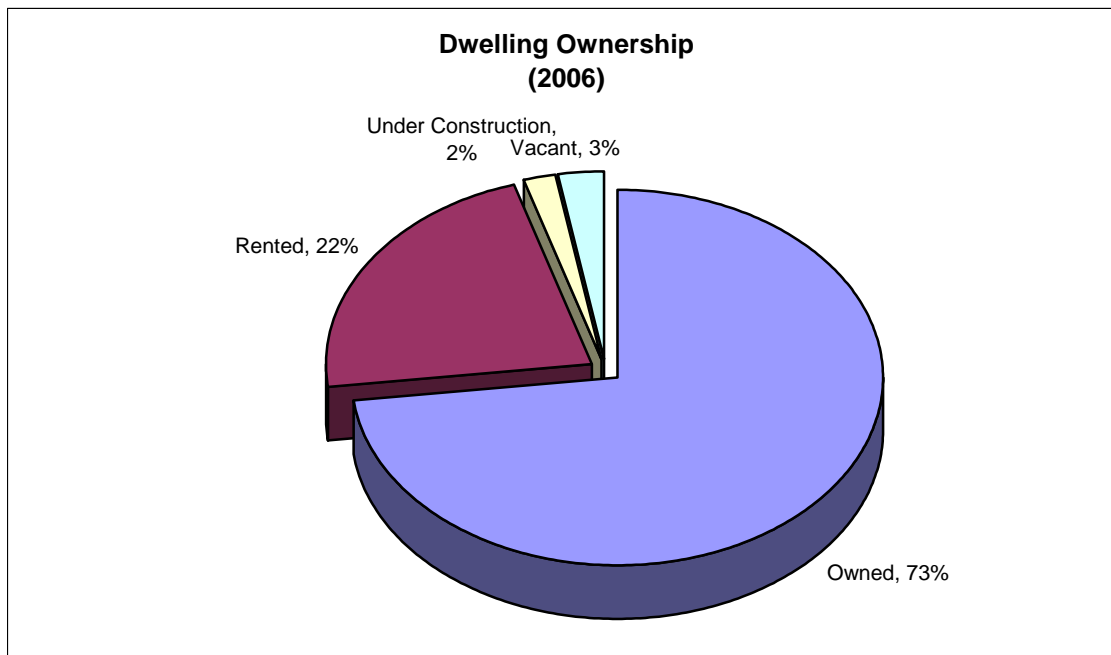
Figure 10: Dwelling Ownership (2006)
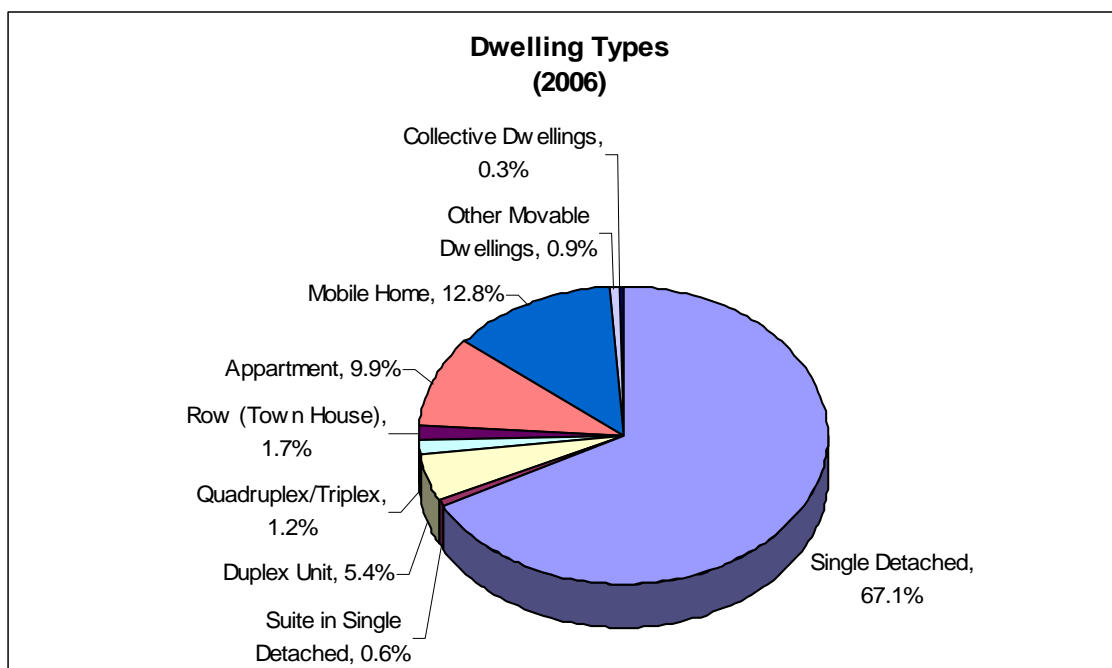
DWELLING TYPES & OWNERSHIP HIGHLIGHTS:

- Single/Single Detached dwellings account for **67.1%**, while Mobile Homes account for **12.8%** of the residential dwellings within Drayton Valley (Figure 9).

- **73%** of all residential dwellings within Drayton Valley are owned, while **22%** are rented, with the majority of the rentals being apartments and single single/detached (Figure 10).

V. Employment & Labour

Figure 11 compares the employment classification recorded in 2003 with the employment classification of 2006.

**Employment Classification
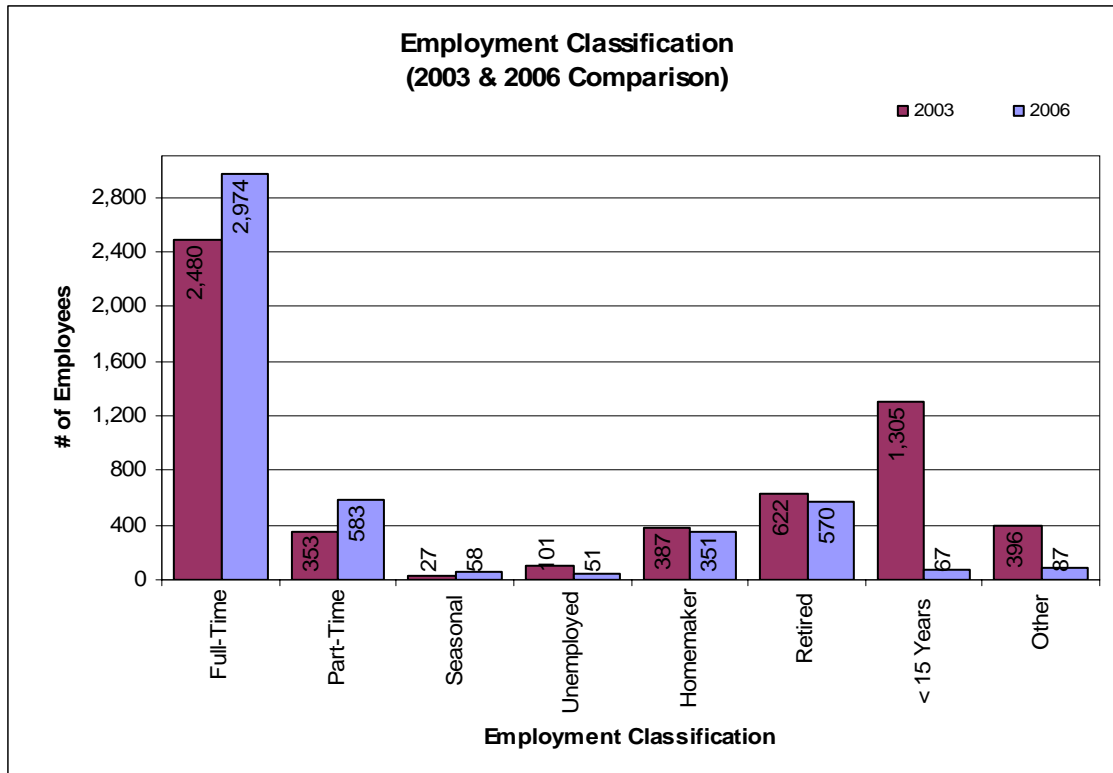(2003 & 2006 Comparison)**

■ 2003 □ 2006

Figure 11: Employment Classification (By Employees) 2003 & 2006 Comparison

The following table (Table 1) illustrates the growth in employment industries from 2003 to 2006.

Table 1: Employment Industry (2003 & 2006 Comparison)

Employment Industry	2006	2003	% Incr.
Accommodation / Food / Beverage	356	163	54%
Agriculture	45	44	2%
Business / Personal Services	245	86	65%
Communication/Utilities	68	38	44%
Construction	156	96	38%
Education	206	130	37%
Finance/Insurance/Real Estate	73	41	44%
Fishing/Trapping	1	11	---
Forestry	149	140	6%
Government / Public Administration	111	78	30%
Health / Social Services	229	142	38%
Manufacturing	85	23	73%
Mining/Quarry	7	6	14%
Oil/Gas	1,335	708	47%
Other	350	144	59%
Transportation	192	69	64%
Unspecified	792	0	---
Wholesale/Retail Trade	341	143	58%
Total	**4,741**	**2,062**	

EMPLOYMENT & LABOUR HIGHLIGHTS:

- **494 more** Full-time jobs were recorded in 2006; a **17%** increase (Figure 11)

- **230 more** Part-time jobs were record in 2006; a **39%** increase (Figure 11)

- **50 fewer** people were unemployed in 2006; a **50%** reduction (Figure 11)

- **627 more** Oil/Gas jobs were recorded in 2006; a **47%** increase (Table 1)

- **193 more** Accommodation / Food / Beverage jobs were record in 2006; a **54%** increase (Table1)

VI. Education / Schooling

Figure 12 outlines the student enrolment within Drayton Valley schools; while Figure 13, compares adult males and females and illustrates their level of education.
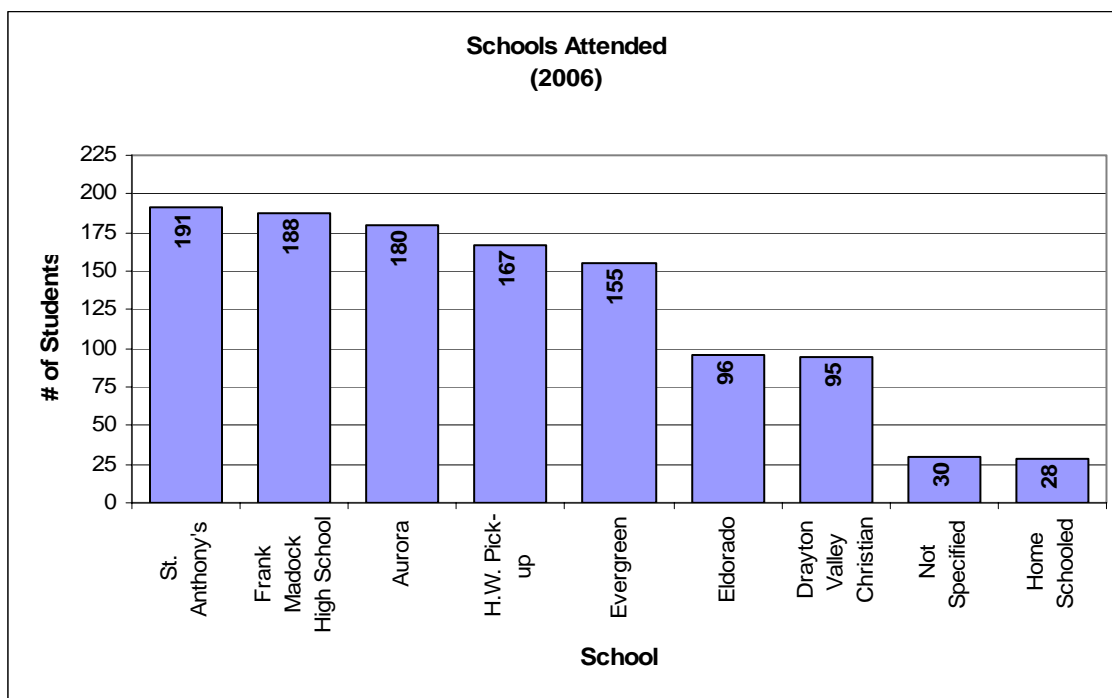
**Schools Attended
(2006)**

Figure 12: Education - Schools Attended (2006)

Highest Education Level Obtained (2006)
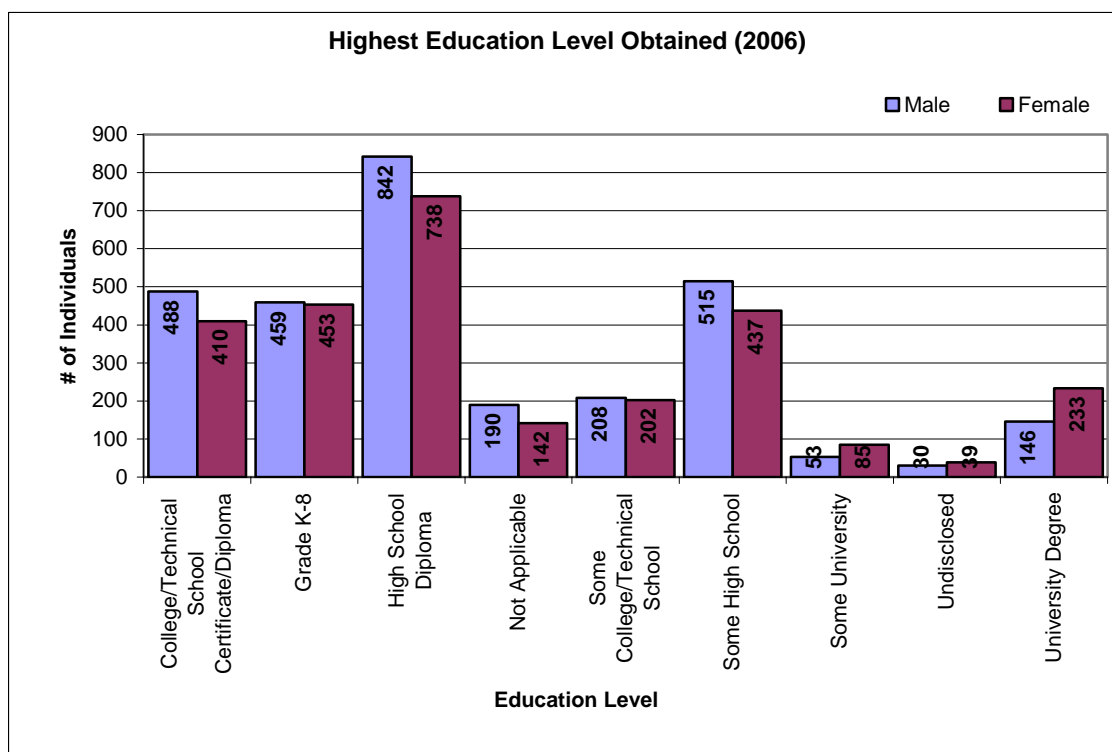

Figure 13: Highest Education Level Obtained

<u>EDUCATION / SCHOOLING HIGHLIGHTS:</u>

- **35%** of the enumerated population have not achieved their high school diploma

- **17%** of the adult individuals have a College or Technical School Certificate or Diploma

- **7%** of the population has a University Degree

VII. Internet

Figure 14 shows those homes enumerated within Drayton Valley with an active internet connection.
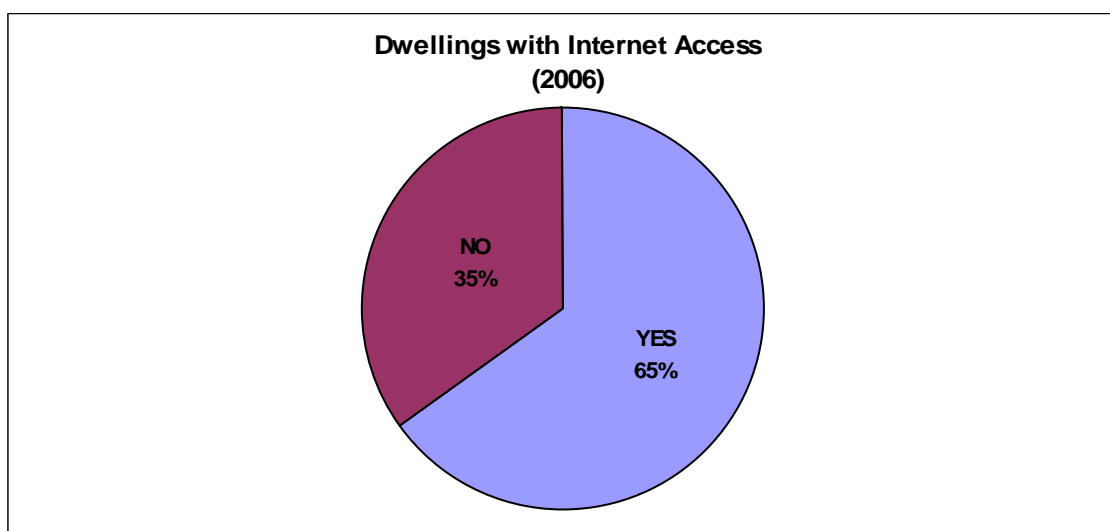

Dwellings with Internet Access (2006)

NO 35%

YES 65%

Figure 14: Homes with an active internet connection

<u>INTERNET HIGHLIGHTS:</u>

- **65%** of Drayton Valley homes have internet service.

SURVEY RESULTS

I. Town Focus for the Future – Question One

Enumerators asked Drayton Valley residents the following question, *"What would you like the town to focus on in the future?"* Although the answers varied greatly, for the most part, they could be categorized into the following five categories: Infrastructure, Housing Shortage, Youth, Traffic, Facilities and Tax Reduction. Although a number of smaller *unrelated* items were indicated, for simplicity reasons, the top five responses have been depicted in Figure 15. Infrastructure and housing concerns are further explored in Figures 16 & 17.
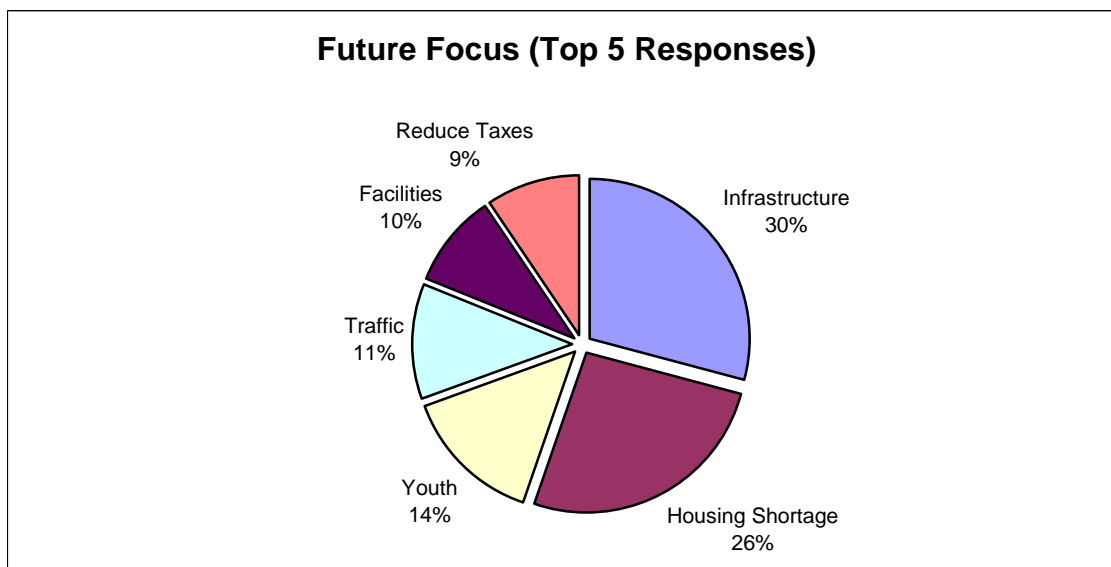
Future Focus (Top 5 Responses)

Reduce Taxes
9%

Facilities
10%

Traffic
11%

Infrastructure
30%

Youth
14%

Housing Shortage
26%

Figure 15: Areas of Focus, as seen by the citizens of Drayton Valley (Top 5)

**Infrastructure
(Sub-Categories)**

# of Respondents

Roads / Sidewalks	Twin Highway / Bridge	General	Remove Red Traffic Circles	Alley / Lanes
248	42	37	13	9

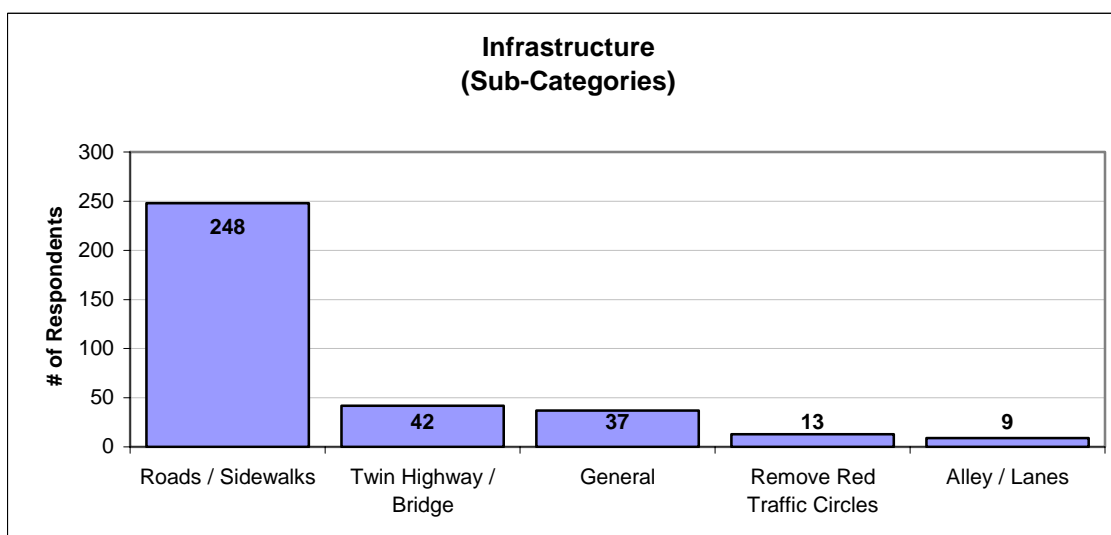**Figure 16: Infrastructure (Sub-Categories)**

**Housing Shortage
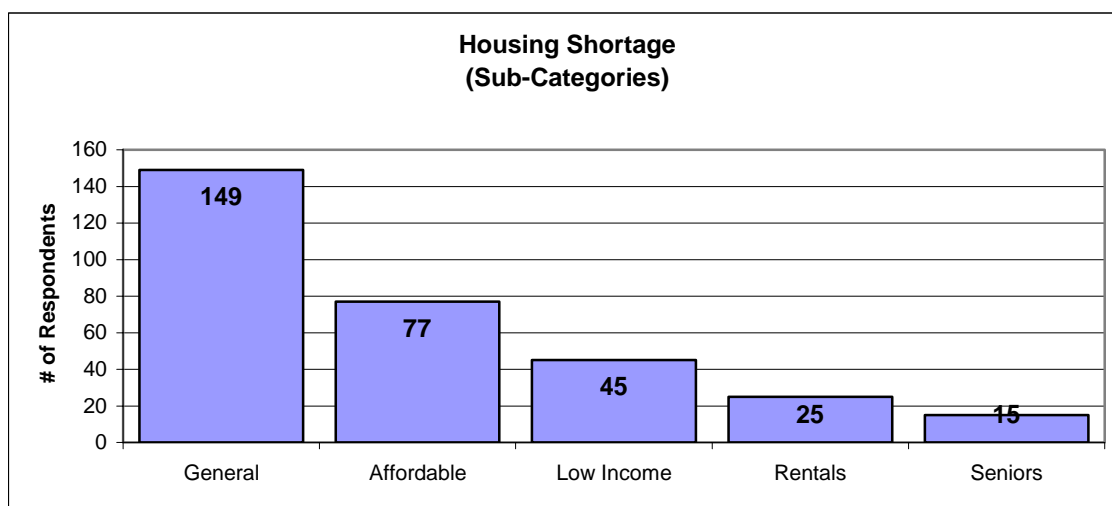(Sub-Categories)**

Figure 17: Housing Shortage (Sub-Categories)

<u>TOWN FOCUS (FOR THE FUTURE) - QUESTION ONE HIGHLIGHTS</u>:

- **Infrastructure, Housing** and **Youth (Programs/Activities)** are some of the areas where the citizens of Drayton Valley would like administration and council to focus on in the future. # of Respondents

- Although **Roads/Sidewalks** were indicated as the single largest infrastructure item, a number of residents expressed interest in seeing the twinning of Highway 22 and the construction of a new bridge.

- Many citizens expressed a concern over the housing situation within Drayton Valley. As the majority of the respondents are under *general*, they acknowledged there was a housing issue within the town, but did not elaborate.

II. Challenges Facing Drayton Valley – Question Two

Enumerators asked Drayton Valley residents the following question, *"What do you think are the biggest challenges facing Drayton Valley today?"* Although the answers often varied greatly, for the most part, they could be categorized into the following four categories: Housing Shortage, Drugs, Rapid Growth, and Labour Shortage. Although a number of smaller *unrelated* items were indicated, for simplicity reasons, the top four responses have been depicted in Figure 18. Figure 19 further breaks housing concerns down.
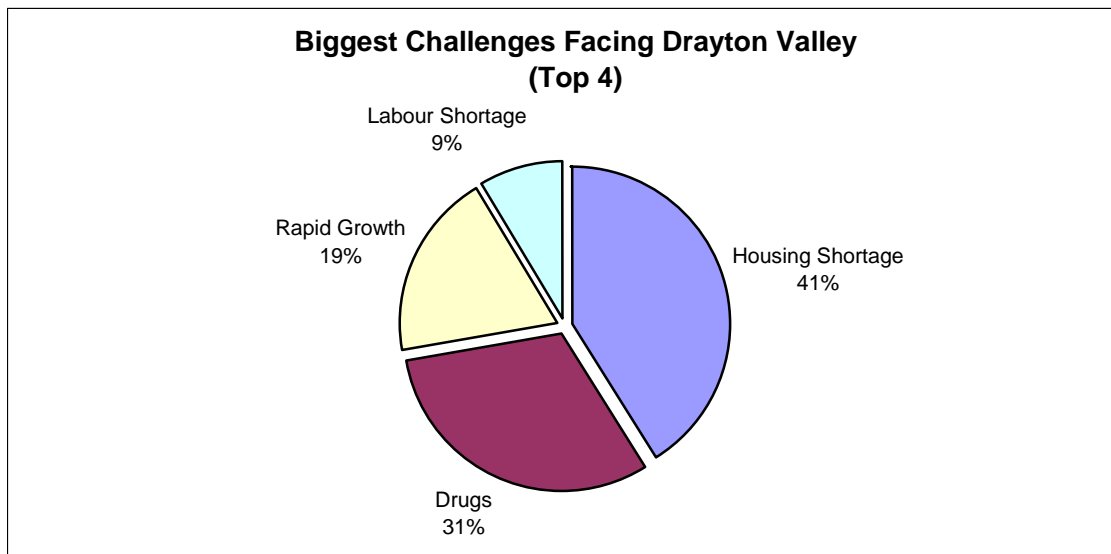
**Biggest Challenges Facing Drayton Valley
(Top 4)**

Labour Shortage
9%

Rapid Growth
19%

Housing Shortage
41%

Drugs
31%

Figure 18: Biggest Challenges Facing Drayton Valley
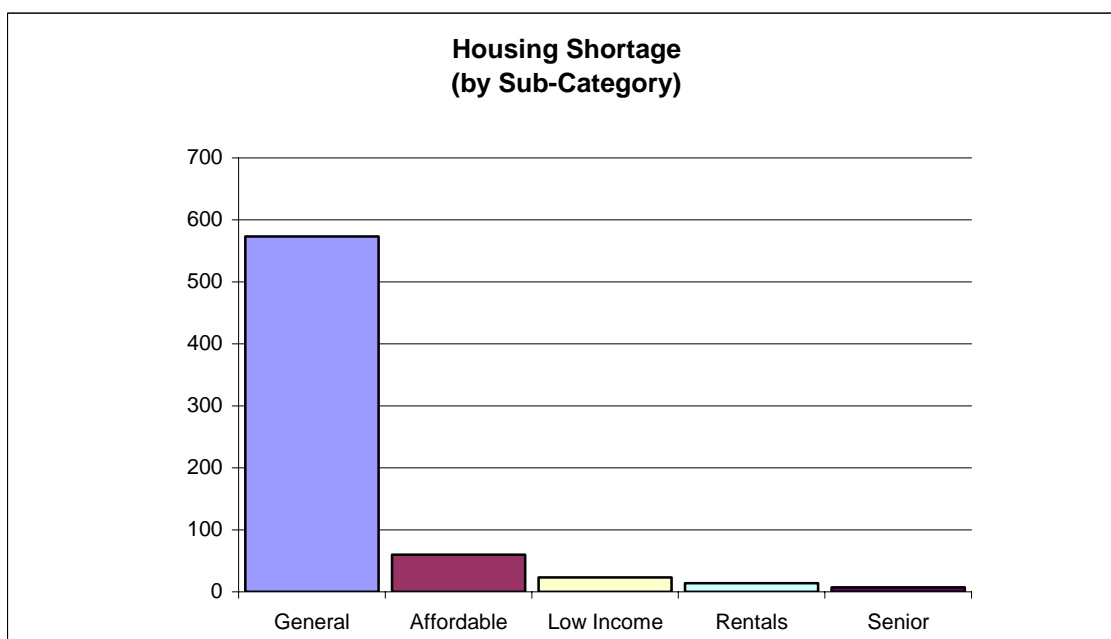
**Housing Shortage
(by Sub-Category)**

Figure 19: Housing Shortage (By Sub-Category)

CHALLENGES FACING DRAYTON VALLEY – QUESTION TWO HIGHLIGHTS:

- **Housing** and **Drugs** are some of the areas that were identified as challenges facing Drayton Valley.

- While the majority of the respondents identified **Housing Shortage** as an issue, few respondents indicated the type of housing that was required (e.g. affordable, low income, rentals or senior).

III. Rent Payments (per month) – Question Five

Enumerators asked Drayton Valley residents the following question, *"How much do you normally spend on rent payments per month?"* Individuals were then provided with a five options as outlined within Figure 20. The number of rental accommodations within Drayton Valley is outlined within Figure 21.
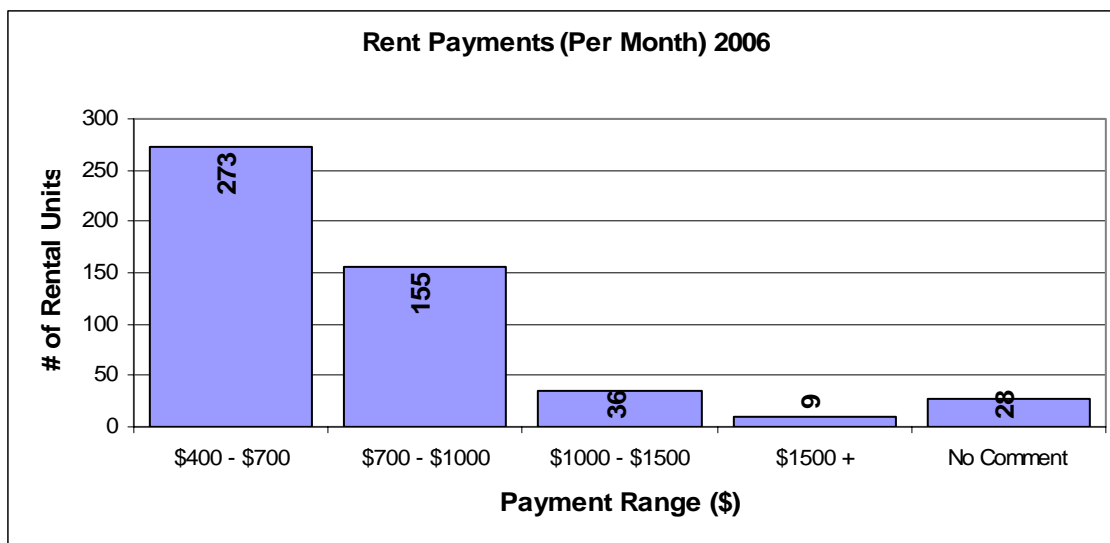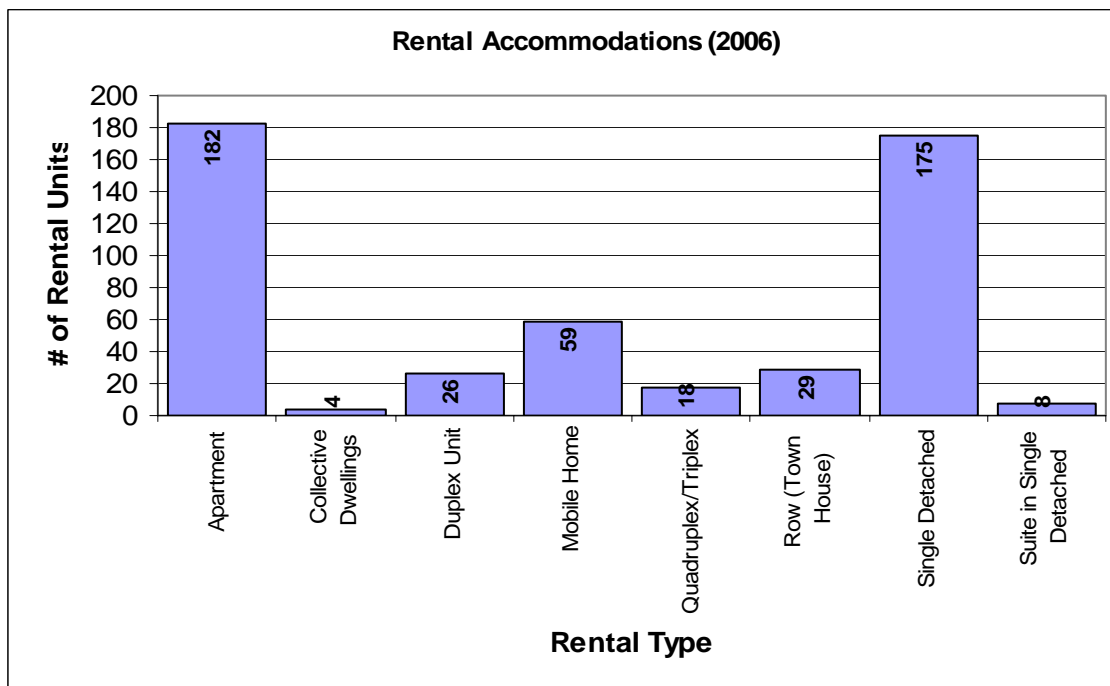

Figure 20: Rent Payments per Month

Figure 21: Rental Accommodations (2006)

RENT PAYMENTS PER MONTH – QUESTION FIVE HIGHLIGHTS:

- **501 Rental Units** were identified within 2006

- **54%** of rental units had a rental payment of $400-$700/month

- **31%** of the rental units had a rental payment per month of $700-$1000/month.

APPENDIXES

ZONE 22

ZONE 10

ZONE 22

ZONE 9

ZONE 1

ZONE 8

ZONE 31

ZONE 23

ZONE 25

ZONE 1

ZONE 2

ZONE 24

ZONE 6

ZONE 3

ZONE 26

ZONE 21

ZONE 5

ZONE 16

ZONE 11

ZONE 13

ZONE 17

ZONE 4

ZONE 18

ZONE 19

ZONE 20

ZONE 12

ZONE 14

ZONE 31

ZONE 15

ZONE 27

DRAYTON VALLEY
MUNICIPAL CENSUS
2006
Enumeration Areas

N

July 25th, 2006