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**THE TOWN OF DRAYTON VALLEY**

**SE 16- 49-7-W5M (Aurora)  
AREA STRUCTURE PLAN**

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**Prepared 25 01 01:**

**Including:**

**Revisions March 2001**

**Revisions to December 2001**

**Revisions to May 2002**

**Revisions to August 26, 2003**

**Revisions to October 28, 2003**

**Approved October 29, 2003**

TOWN OF DRAYTON VALLEY

BYLAW No. 2002/13/D

A BYLAW OF THE TOWN OF DRAYTON VALLEY IN THE PROVINCE OF ALBERTA  
TO BE KNOWN AS THE AURORA AREA STRUCTURE PLAN

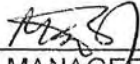
WHEREAS Section 633 of the Municipal Government Act, R. S.A. 2000 Chapter M-26.1 and amendments thereto allows the Council of a municipality to enact, by bylaw, an Area Structure Plan;

NOW THEREFORE after due compliance with the relevant provisions of the Municipal Government Act, S.A. 1994 Chapter M-26.1 and amendments thereto, the Council of the Town of Drayton Valley, in the Province of Alberta, duly assembled, enacts as follows:

1. That this Bylaw may be cited as the "Aurora (SE 16-49-7-W5M) Area Structure Plan".
2. That the text and accompanying maps annexed hereto as Schedule "A" become the Aurora (SE 16-49-7-W5M) Area Structure Plan.
3. This Bylaw shall come into force and have effect from and after the date of third reading thereof.

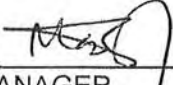
Read a first time this 24<sup>th</sup> day of July, 2002

  
MAYOR

  
TOWN MANAGER

Read a second time this 28 day of August, 2002

  
MAYOR

  
TOWN MANAGER

Read a third time this 29 day of October, 2002

  
MAYOR

  
TOWN MANAGER

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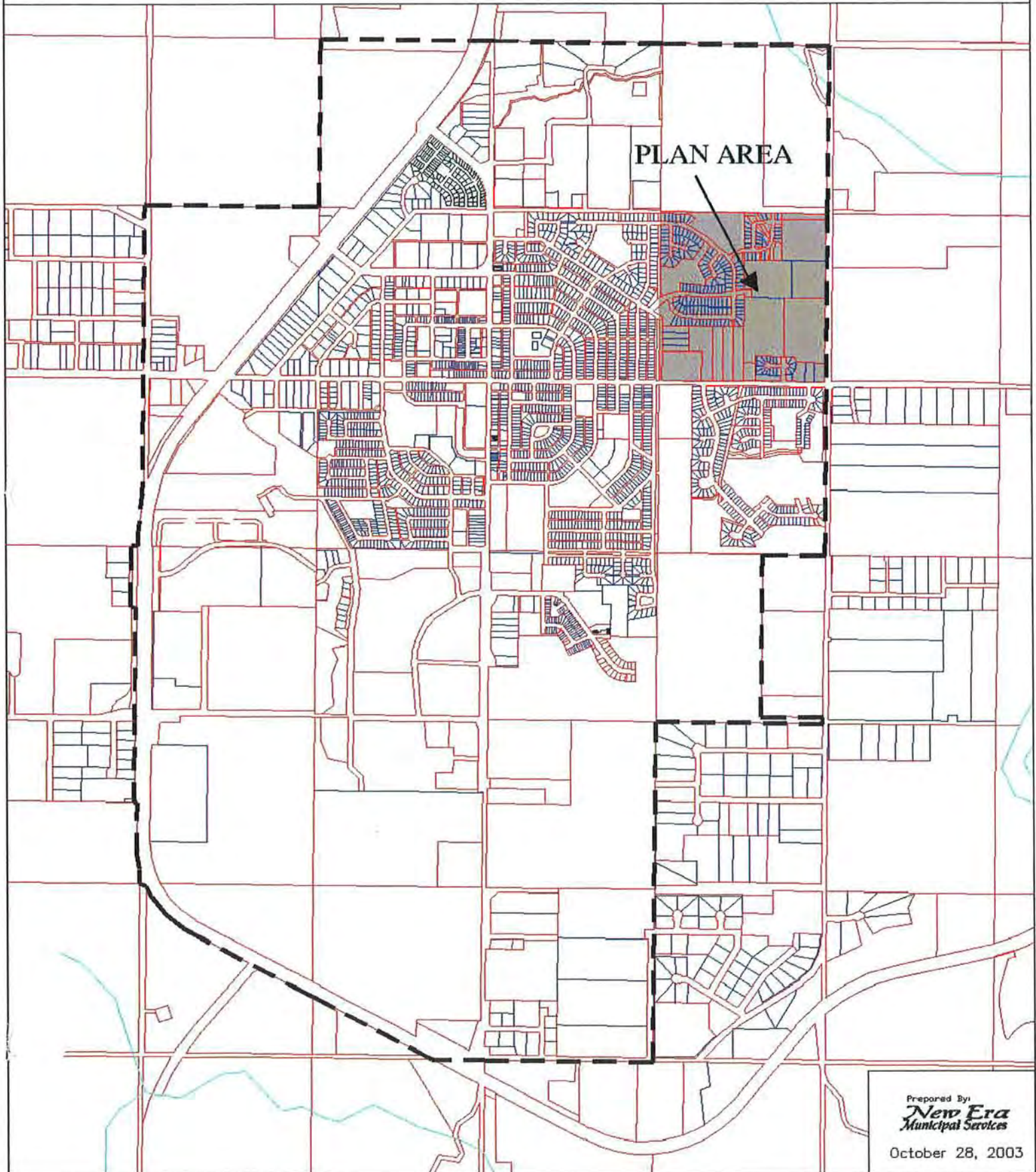




# AURORA AREA STRUCTURE PLAN (SE 16-49-7-W5M)



## MAP 1.0 – LOCATION CONTEXT (PLAN AREA)



Prepared By  
**New Era**  
Municipal Services

October 28, 2003

## **1.0 INTRODUCTION**

### **1.1 PLAN PURPOSE and OBJECTIVES**

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The SW 16-49-7-W5M Area Structure Plan seeks to accomplish the following objectives:

- Ensure that the proposed development within the Plan area conforms to the policies, goals, and objectives of Drayton Valley's Municipal Development Plan.
- Provide a framework for future subdivision and development by setting policies for transportation and utility corridors and land use districts.
- Develop a phasing plan through the identification of development regions, which takes into account existing subdivision proposals.
- Meet the requirements of Section 633 of the Municipal Government Act, R.S.A.
- To have a coordinated planning approach as detailed in the Brazeau County / Town of Drayton Valley Intermunicipal Development Plan.

### **1.2 BACKGROUND**

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The SW 9-49-7-W5M Area Structure Plan is limited to the quarter section of the same description (See Map 1.0). The subject lands are located in the northeast portion of the Town of Drayton Valley. At this time approximately 46% or 74 acres of the quarter section is "built out" which leaves approximately 86 acres of vacant land or land which is comprised of larger lots for subdivision or resubdivision purposes.

The Town has recently received a proposal for redesignation and subdivision of land within the Plan area, which has precipitated the need for this Area Structure Plan. It should also be noted that there is an existing outline plan and several development designs for portions of the quarter section which have been used as a basis for the policy framework and development concept plan in this Area Structure Plan. Existing development within the Plan area is comprised of primarily residential, open space/public utilities and institutional uses. The water and sewer servicing and storm drainage plans are in place for this quarter and have been followed within the framework of the original outline plan.

## 2.0 SITE ANALYSIS

### 2.1 TOPOGRAPHY

The land in this quarter section slopes gradually downward from southwest to northeast. The Plan area is partially tree covered with tree stands and vegetation principally within the easterly and southwesterly quadrants.

### 2.2 RESERVES

Current Municipal Reserve allocations in the Plan area are outlined in the following table.

LOT #	PLAN	ACRES	STATUS
R	3454 RS	11.42	
-	782 2500	0.52	
67 R/90 R	792 1191	16.64	
7/23/25/76 R	942 2552	0.32	
42 MR	992 4602	0.95	
		0.24	
	<b>TOTAL:</b>	<b>30.00</b>	

A total of 30.00 acres of reserve land has already been acquired within the Plan area. This would suggest that municipal reserve allocations have been completely exhausted for this quarter section.

Within Plan 3454 RS a total of 9.81 acres of land has been previously discharged. This suggests that a small amount of reserve land may still be owing for lands already developed within the Plan area.

One small environmental reserve is also currently present within the Plan area.

### 2.3 EXISTING DEVELOPMENT/DEVELOPMENT CONSTRAINTS

Existing development on the site is comprised of primarily single-family residential development, with some larger acreage holdings in the south quadrant(s) of the quarter section which were subdivided prior to annexation by the Town from Parkland County. It should be noted that with the exception of a small 14-lot subdivision located adjacent to 50<sup>th</sup> Avenue, the remainder of residential development is located in the northerly half of the plan area. An existing storm water drainage pond and park area is located in the north of the quarter (Northview Pond and Northview Park) as well as the Aurora School.

Development constraints, which are of note, include an existing pipeline and operational well as shown on Map 2.0. There are also some mature stands of trees in the plan area, which can be construed as a constraint, but should be preserved as much as possible at the subdivision design stage of development proposals. The other significant development constraint is the setback requirement from the Town's sewage lagoons located to the northeast of the plan area. It should be realized that the 300 metre no

development zone affects the northeast corner of the plan area and that residential development will be prohibited in this area.

## **2.4 ADJACENT DEVELOPMENT/PLANS**

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Brazeau County borders the quarter section to the east. These lands currently remain largely undeveloped. There are no Area Structure Plans, which have been prepared or adopted on this adjoining quarter section. The Town of Drayton Valley sewage lagoon is located on the quarter immediately to the east and partially on the quarter section to the northeast of the plan. There is primarily a mix of residential, open space and institutional uses located immediately adjacent to the plan area within the Town. It is anticipated based upon the Intermunicipal Development Plan (IDP) that the longer-term development of the lands to the north and the east of the plan area within the County will be residential in nature.

## **2.5 FUTURE UTILITIES**

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Map No. 6.0 shows major water, sewer and storm sewer lines as well as a proposed stormwater drainage pond. It should be noted that, existing utility placement would partially dictate the road alignment and development strategies within the plan area.

## **2.6 OIL AND GAS ACTIVITY**

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Within the quarter section there is one existing operational well and several pipelines. More specifically, as depicted on Map No. 2.0, there is a 15.24 metre (50 foot) wide gas pipeline right-of-way, containing two mains, dividing the plan area in an east/west direction. The operational well is located in the northeast quadrant of the plan area. The existing well site and to a lesser extent the functioning gas pipelines present a development constraint. Subdivision applicants, in accordance with the Municipal Government Act, would require written approval by the Alberta Energy and Utilities Board for otherwise incompatible development within 100 metres of a wellhead.

As well, in terms of the pipelines which run underground through the site, all developers must make themselves aware of the danger of damaging these pipelines. Permission from the pipeline owner is also required for excavation and/or for construction on, along, upon or under an existing pipeline or its right-of-way.

## **2.7 SUMMARY OF DEVELOPMENT CONSIDERATIONS**

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- The majority of the lands within this quarter section are suitable for lower density residential development.
- Suitable buffering (100 metre setback) should be enforced for any habitable development from the existing well head located in the northeast quadrant of the study area.
- No habitable residential development should be permitted within the 300-metre setback from the Town of Drayton Valley sewage lagoon, which affects the northeast corner of the plan area.

- Future consideration should be given to providing joint “open space” between the quarter section to the North and East, the latter of which is within the jurisdiction of Brazeau County.
- Future subdivision phases should be designed to follow existing utility routes to minimize servicing requirements needed to accommodate development and to keep right-of-way constraints to corridors or edges of larger development areas. Water trunks need to be sized for adequate fire flows and looping.
- Developers must be extremely cautious of development on or adjacent to pipelines and oil leases.
- Development on sloped land (vis-à-vis water runoff and leveling of land) should be considered at the Development Permit stage.
- Subdivision design should take into consideration existing stands of mature trees, which are primarily located in the southeast section of the plan area.
- Higher density residential development should be considered in the extreme southwest corner of the plan area (adjacent to 50<sup>th</sup> Avenue).
- In order to provide for a suitable transportation flow at the neighborhood level the 55 Avenue collector road should be extended in an easterly direction to connect with the Ring Road (35<sup>th</sup> Street).
- The provision of walkways to connect with existing walkways, open space linkages/corridors, neighborhood parks, and to provide access to the Aurora School should be considered at the detailed subdivision design stage.
- Future development proposals and subdivisions within the plan area must adhere to the Storm Water Drainage study prepared for the quarter section to ensure comprehensive storm water drainage principles are implemented.

## **3.0 PLAN AND POLICIES**

### **3.1 CONCEPT PLAN**

*The Concept Plan is sensitive to the existing development of the site, the identified development constraints, topography/vegetation and surrounding land uses. The Plan is also sensitive to property owner aspirations and the general land use concept originally proposed in the previous outline plan and various development concepts. The plan recognizes the development potential of lands adjacent to the quarter in the Brazeau County. In terms of the overall concept residential development predominates with approximately 20 acres of land set aside for higher density residential development in accordance with the policies and intent of the Town of Drayton Valley Municipal Development Plan (MDP).*

The development concept (Map 3.0) shows generalized land uses as well as a conceptual roadway network, including possible alignments for local roadways.



At such time as the quarter section is fully “built out” the following development areas will be proposed:

- |    |                             |                    |
|----|-----------------------------|--------------------|
| 1. | Residential Development     | 49.8 ha. (123 ac.) |
| 2. | Public Utilities/Open Space | 10.1 ha. (25 ac.)  |
| 3. | Institutional Development   | 4.9 ha. (12 ac.)   |

When fully developed, the development concept would accommodate approximately 49.8 hectares or 123 acres of residential land.

Map 4.0 outlines development phasing. The phasing is a suggestion only, and does not necessarily have to occur in this sequence. Typically, phasing is dictated by the limitations associated with extending roads and services as well as the market demands for individual lots and well and lagoon setbacks.

### **3.2 GENERAL DEVELOPMENT**

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*This Section of the Plan sets forth general policies relating to conformity with existing statutory plans (Land Use Bylaw, Municipal Development Plan, Intermunicipal Development Plan) and the general development concept plan set forth in this Area Structure Plan. This section also requires that any proposed development take into consideration the development constraints associated with the subject lands.*

- 3.2.1 Applications for redesignation, subdivision and/or development permits which occur within the Plan area shall conform to the Town of Drayton Valley’s Land Use Bylaw and Municipal Development Plan.
- 3.2.2 Proposed development shall take into consideration existing utility infrastructure. The developer shall be responsible for any costs involved with the relocation or extension of any existing utilities.
- 3.2.3 Developers shall enter into a development agreement with the Town of Drayton Valley for subdivisions and development permits.
- 3.2.4 No residential development shall occur within 300 metres of the Town’s sewage treatment lagoons as depicted on Map 2.0-Development Constraints.
- 3.2.5 Subdivision, redistricting, and discretionary development permit applications in undeveloped portions of the Plan area will require referrals for comment to Brazeau County.
- 3.2.6 The total population of the plan area will be approximately 1000 people based upon the majority of the lands being developed as low-density single-family detached dwellings.



### **3.3 RESIDENTIAL**

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- 3.3.1 Lower density residential shall be situated adjacent to the existing residential areas in the plan, principally south and east of the Aurora School and in the southerly quadrants of the Plan area. Higher density residential development shall be located in the southerly portions of the plan area adjacent to 50<sup>th</sup> Avenue East. Proposals for subdivision, redesignation or development permits, shall generally conform to Map No. 3.0-Development Concept.
- 3.3.2 Dwelling sites within large lots will be allowed to remain in their present state throughout the life of the dwelling. Proposals to re-subdivide large lots will be considered where the same contribute to the overall street pattern outlined in the Development Concept.
- 3.3.3 The Town may consider site specific proposals in the DC – Direct Control lands north of the area known as Glenbow Park. Proposals for zero side yards, narrow lot widths may be considered where accompanied by proper siting criteria and approved architectural form.
- 3.3.4 No residential development shall occur within 100 metres of the operational well in the southeast quadrant of the quarter section, unless otherwise reduced in writing by the EUB.
- 3.3.5 Phasing of the subdivision of lands for residential use shall be based upon the location and cost of servicing; demand, redevelopment, land assembly potential and proximity to existing roadways.
- 3.3.6 Developers shall be encouraged to construct a variety of housing styles and sizes, particularly lower cost single family residences and residences suitable for senior's use in accordance with the Town of Drayton Valley Municipal Development Plan.
- 3.3.7 The large residential land holdings located adjacent to 50<sup>th</sup> Street shall be required to connect to full urban services subject to the developer entering into the necessary servicing agreements with the Town. Costs to install and connect to full urban services shall be borne by the Developer(s).

### **3.4 OPEN SPACE**

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*The Open Space system for the Plan area should consider further “linkages” with the overall open space system for the Town. As an example, storm drainage courses should be preserved in order to provide a continuous system throughout the Town. As well, open space blocks or small neighborhood parks should be encouraged and linked together with trail systems when larger tracts of residential lands are developed. Open Space connections (trails) should be dedicated or acquired for lands which may develop in the future to the east which is currently located within Brazeau County.*

- 3.4.1 A linear open space system, located within, or adjacent to, the environmental reserve lands of the proposed stormwater pond and drainage channel shall be dedicated by Public Utility Lot (PUL).

- 3.4.2 Consideration should be given to providing open space/walking trails within the plan to link with lands outside the plan similar to the walking trail system within the Northview Garden and Aspen View subdivisions. This walking trail system should be further developed within the southern part of the plan when the lands are further subdivided.

### 3.5 TRANSPORTATION

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*Transportation routes in the Plan area primarily reflect the predominant residential development, which will be occurring on the remainder of the quarter section. Roads will be designed to follow existing utility routes where reasonable as depicted on Map 5.0.*

- 3.5.1 The transportation corridors shall be built to the Town of Drayton Valley's standard chiefly as local roads.
- 3.5.2 The transportation routes shall also follow the pattern outlined in this Plan where utilities are presently in existence. Where utilities are not completed, the subdivision authority should use its discretion to finalize the transportation routes, using this Plan as a suggestion.
- 3.5.3 Street improvements to 50<sup>th</sup> Avenue shall occur in accordance with the traffic study prepared by Infrastructure Systems Ltd. (ISL) and any additional road widths required to satisfy the traffic study must be provided by the Developer.
- 3.5.4 Continued access to oil leases shall be maintained at all times.
- 3.5.5 In order to provide a suitable east-west collector link 55<sup>th</sup> Avenue shall be extended east to connect with the Ring Road (35 Street) to affect proper traffic flow between neighborhoods.
- 3.5.6 All required roadways shall be dedicated at the time of subdivision. Road widths shall adhere to the following standards except where relaxed by the Town:

Collector	24.4 metres (80 feet)
Local Roads	18.3 metres (60 feet)

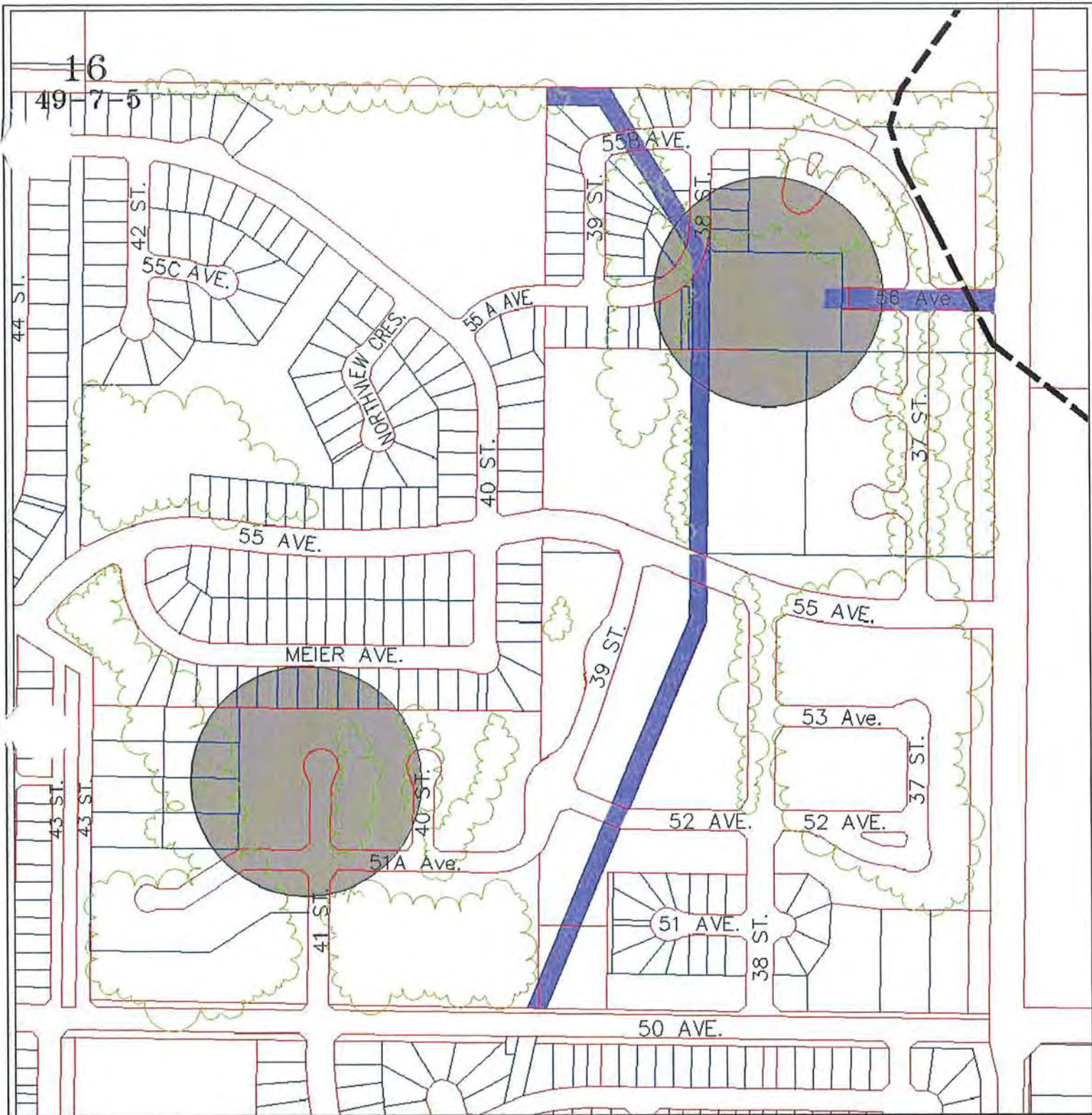
Note: Cul de sac design and sizing shall conform to the Town of Drayton Valley engineering standards.

### 3.6 UTILITIES

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*The utility system for the area of the Plan is partially completed and is located primarily in the northern half of the Plan area where existing development is situated as well as along 50<sup>th</sup> Avenue East. Additional utility construction should occur only upon development agreements between the developer and the Town of Drayton Valley are completed. Servicing agreements will minimize the cost to the Town of providing utilities for future development. As well, regard should be had for the phasing plan in terms of the overall construction of utilities within the Plan area.*

- 3.6.1 All utilities within the Plan area are to be designed and installed in accordance with accepted engineering practices, and shall be satisfactory to the Town.
- 3.6.2 The Town of Drayton Valley shall impose an off-site levy assessment in respect of land within the Plan area, which is to be developed or subdivided.
- 3.6.3 Proposed sanitary sewage collection systems shall be connected to the existing municipal system and shall be designed to meet projected flows.
- 3.6.4 The sanitary sewer service is supplied by the existing lines adjacent to the developed area in the northerly section of the plan area. (See Map 6.0).
- 3.6.5 Storm water primarily flows from the southwest to the northeast with a collection pond to be located and constructed in the northeast corner of the Plan area. All stormwater facilities to be constructed within the Plan area shall adhere to the Stormwater Management study prepared by Merge Consulting Ltd. and shall be completed to the satisfaction of the Town of Drayton Valley.
- 3.6.6 Water distribution systems shall be connected to the existing municipal system, and shall be designed to meet projected residential consumption as well as fire flow requirements.
- 3.6.7 Shallow utilities and streetlights are to be the responsibility of the developer. Gas service to the Plan area is provided by ATCO gas, power by Utilicorp and telephone by Telus. Cable service is provided by Videon. These service providers should be contacted prior to, or during, the subdivision and development process to determine service requirements.



# AURORA AREA STRUCTURE PLAN (SE 16-49-7-W5M)

## MAP 2.0 - DEVELOPMENT CONSTRAINTS

Town of  
Drayton Valley



### Legend



PIPELINE



VEGETATION



TOWN LAGOON SETBACK (300 m)



OIL WELL SETBACK (100 m)

Prepared By:  
**New Era**  
Municipal Services

October 28, 2003

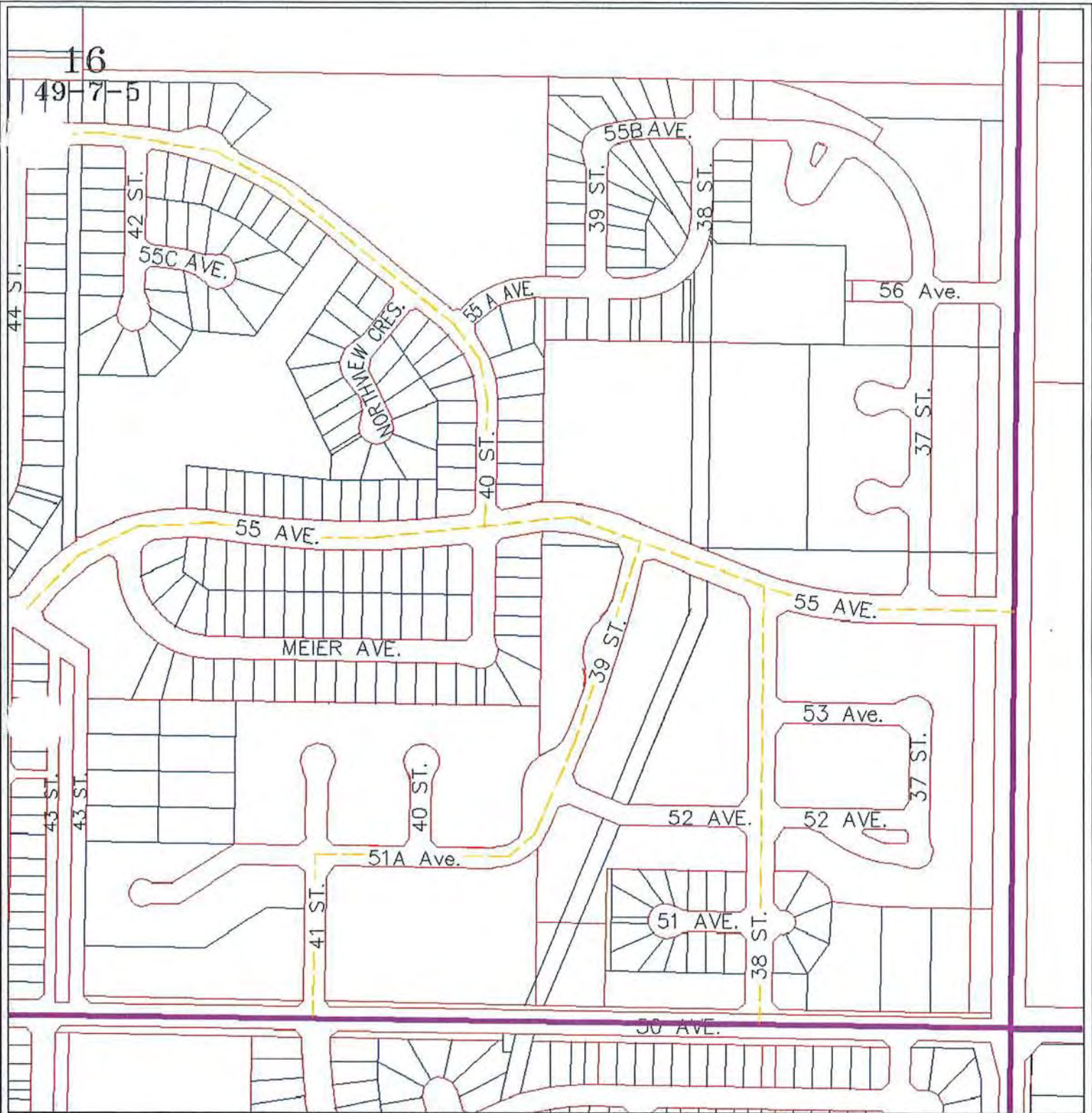












# AURORA AREA STRUCTURE PLAN (SE 16-49-7-W5M)

## MAP 5.0 - TRANSPORTATION

Town of  
Drayton Valley



Legend

- Collector Road
- Arterial Road

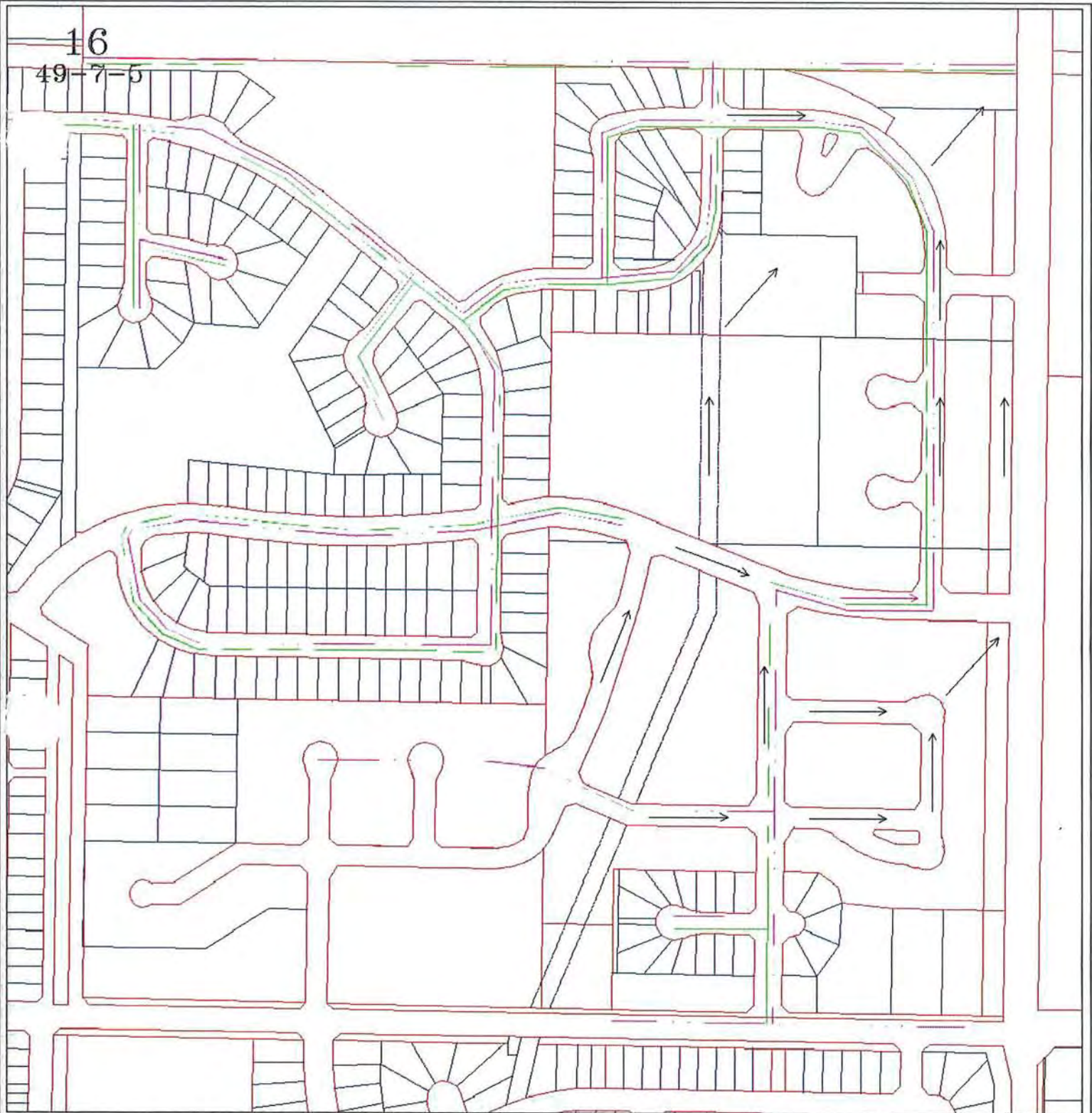
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# AURORA AREA STRUCTURE PLAN (SE 16-49-7-W5M)

## MAP 6.0 - UTILITIES

Town of  
Drayton Valley



Legend

- Water Line
- Sewer Line
- Drainage Flow

Prepared By:  
**New Era**  
Municipal Services

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